



Building Guide

Mills County
Building & Zoning Department
403 Railroad Avenue, Glenwood, IA 51534
712-527-4347

Single Family Residential Enclosing Existing Patio Covers

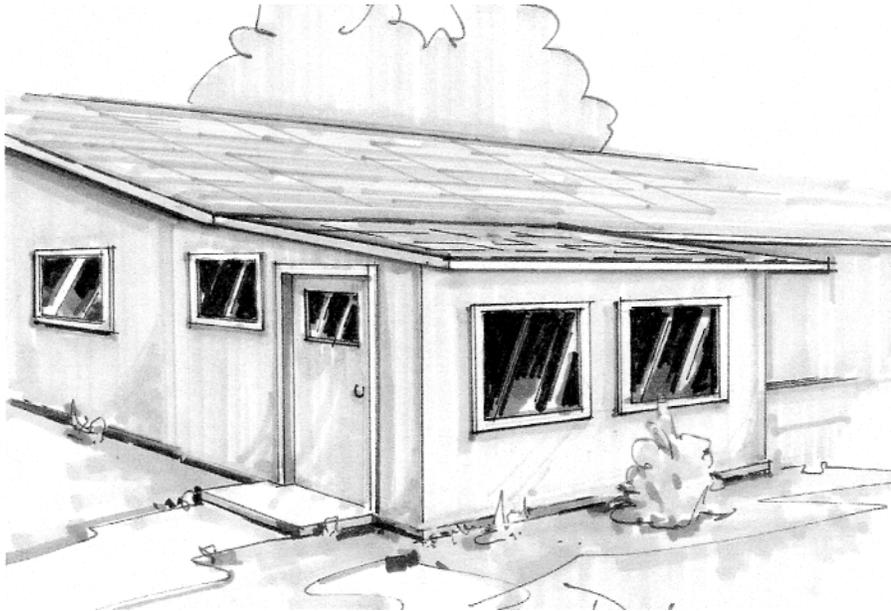
How to Use this Guide

1) **Complete this Building Guide** by fillings in the blanks on the following pages and indicating which construction details will be used.

2) **Fill out and submit a Residential Building Permit application.**

The majority of permit applications are processed with little delay, within 7 – 10 working days. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

INCOMPLETE PLANS AND/OR APPLICATIONS WILL NOT BE ACCEPTED



This handout was developed by the Mills County, Iowa, Building & Safety Department as a basic Plan Submittal under the 2009 IRC to help in questions that may arise in the application process. It is not intended to cover all circumstances or Code related issues as they pertain to individual projects.

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General Notes

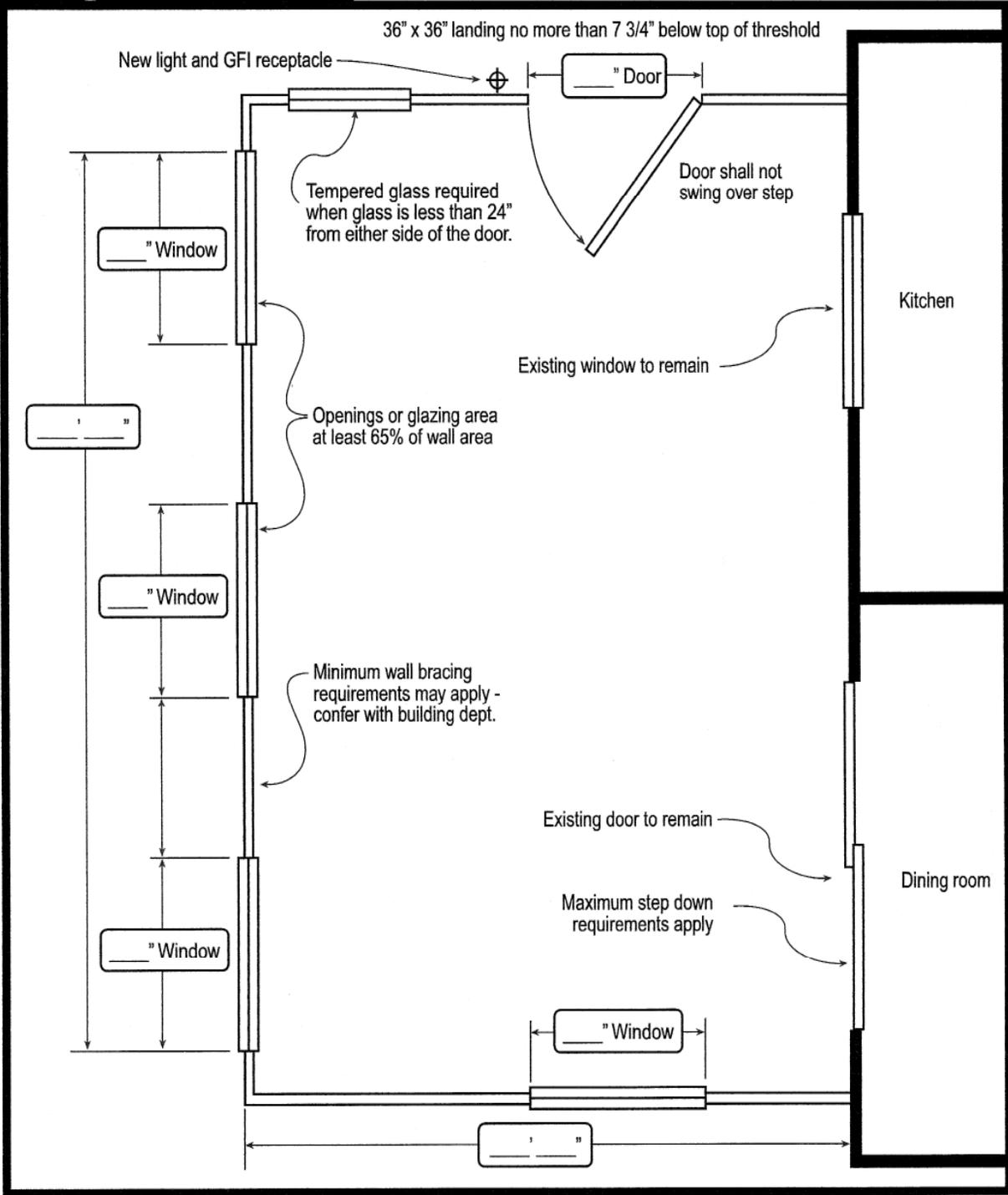
1. A submittal would enclose an existing code compliant and previously permitted patio cover with new walls of glass, framing, or other approved materials, to create a new non-heated, non-habitable enclosed patio.
2. To be allowed any of the code exceptions listed under Appendix H of the 2006 IRC, Patio Cover enclosure walls may have any configuration, provided the open or glazed area of the longer wall and one additional wall is at least 65% of the area below a minimum of 6 feet 8 inches of each wall, measured from the floor.
3. Note; that all existing house windows and doors must remain in place. Heated areas and habitable rooms shall be submitted as a residential addition. The new room shall not block required egress from any area and shall not reduce any required natural light and ventilation.
4. Garage walls, doors and windows that previously had an exterior exposure but are now within the enclosure shall be modified to meet required fire rated separation requirements.
5. Note: Various ICBO-ES / ICC-ES Patio Cover Reports prohibit enclosure.
6. Provide gutters and downspouts with adequate drainage away from the structure.

Minimum Submittal Documents

- A completed Residential permit application.
- 2 sets of complete construction documents, clearly indicating all components and how they are to be anchored to one another, to the slab / foundation, to the roof, and to the dwelling.
- A floor plan view of all room uses within the dwelling that are directly adjacent to the new patio enclosure. Include any existing window wells (from the basement) that would now be within enclosure. See sample drawing on page 3.
- Details regarding how the new walls / glazing shall be protected from any potential slab movement due to frost and expansive soils.
- Frost protected foundation systems, or protection of existing slabs.
- A current ICBO-ES / ICC-ES or other approved inspection / design report for propriety wall component systems or assemblies.
- Provide an electrical plan indicating locations of outlets, lights and switches.
- Clarification of the type and location of lateral (wind) bracing, wall to foundation bolting, etc.

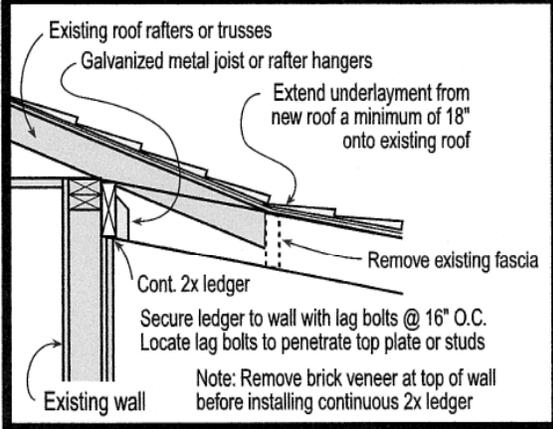
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Sample Floor Plan



Single Family Residential Enclosing Existing Patio Covers

Detail A



Alternate Detail A

